

ORDINANCE No. 2009-100

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROANOKE, TEXAS, REPEALING IN ITS ENTIRETY CHAPTER 12, EXHIBIT A, SECTION 12, ENTITLED "OAK STREET CORRIDOR ZONING DISTRICT," BY REPLACING IT WITH A NEW CHAPTER 12, DIVISION 15, SECTIONS 12.490 TO 12.500, ENTITLED "OAK STREET CORRIDOR ZONING DISTRICT"; AMENDING THE OAK STREET CORRIDOR ZONING DISTRICT REGULATIONS BY ESTABLISHING THREE LAND USE ZONES WITHIN THE DISTRICT – OAK STREET ZONE, NEIGHBORHOOD TRANSITION ZONE, AND HWY 377 ZONE; ESTABLISHING A SCHEDULE OF USES WITHIN THE THREE ZONES; ESTABLISHING DEVELOPMENT STANDARDS WITHIN THE THREE ZONES; ESTABLISHING SIGNAGE REQUIREMENTS FOR THE DISTRICT; ESTABLISHING ARCHITECTURAL STANDARDS AND DESIGN GUIDELINES FOR THE DISTRICT; AMENDING THE ZONING CLASSIFICATION FOR PROPERTIES FRONTING ON HIGHWAY 377 BETWEEN PARISH LANE AND BYRON NELSON BLVD., AND PROPERTIES ON PINE STREET BETWEEN LAMAR STREET AND BYRON NELSON BLVD, LOCATED WITHIN THE CITY OF ROANOKE, DENTON COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED IN EXHIBIT "B" ATTACHED HERETO AND INCORPORATED HEREIN BY REFERENCE FOR ALL PURPOSES, BY CHANGING THE ZONING FROM "R-1 SINGLE FAMILY", "B-2 – LOCAL BUSINESS AND RETAIL DISTRICT", AND "B-3 – BUSINESS DISTRICT" TO "OAK STREET CORRIDOR ZONING DISTRICT"; PROVIDING A PENALTY CLAUSE; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Roanoke and the City Council of the City of Roanoke, in compliance with the laws of the State of Texas, have given the requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested, and the City Council of the City of Roanoke is of the opinion and finds that said changes should be granted and that the Comprehensive Zoning Ordinance should be amended.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROANOKE, TEXAS:

Section 1. FINDINGS INCORPORATED

The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

Section 2.

That Chapter 12, Exhibit A, Section 12, of the Code of Ordinances, City of Roanoke, Texas, entitled "Oak Street Corridor Zoning District" is hereby repealed in its entirety, and is replaced with a new Chapter 12, Division 15, Sections 12.490 to 12.500 of the Code of Ordinances of the City of Roanoke, Texas, entitled "Oak Street Corridor Zoning District", which is attached hereto as **Exhibit A**, and incorporated herein for all purposes.

Section 3.

That the Zoning Ordinance of the City of Roanoke, Texas, is hereby amended by amending the official Zoning Map of the City of Roanoke, Texas, for the properties more particularly described

in **Exhibit B**, which is attached hereto and incorporated herein for all purposes, to reflect and provide for a zoning classification change for said properties from R-1 Single Family Residential, B-2 Local Business and Retail District, and B-3-Business District, to “Oak Street Corridor Zoning District.”

Section 4.

The properties, as described and depicted in **Exhibit B** of this Ordinance, shall be developed in strict accordance with the allowable land uses for properties located within the Oak Street Corridor Zoning District.

Section 5. PENALTY CLAUSE

Any person, firm, or corporation violating any of the provisions or terms of this Ordinance shall be guilty of a misdemeanor and upon conviction, shall be fined a sum not to exceed \$2,000.00 for each offense, and each and every violation or day such violation shall continue or exist, shall be deemed a separate offense.

Section 6. SEVERABILITY CLAUSE

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this Ordinance, since the same would have been enacted by the City Council without the incorporation of this Ordinance of any such unconstitutional phrase, clause, sentence, paragraph or section.

Section 7. EFFECTIVE DATE

This Ordinance shall become effective immediately upon its passage and publication as required by law.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Roanoke, Texas, on this the 10th day of February, 2009.

APPROVED:

Carl E. Gierisch, Jr., Mayor

ATTEST:

Kim Barnes, City Secretary

APPROVED AS TO FORM:

Jeff Moore, City Attorney

EXHIBIT A

“Oak Street Corridor Zoning District”

DIVISION 15. OAK STREET CORRIDOR ZONING DISTRICT

Sec. 12.490. **Applicability.**

- (a) *Generally.* The standards, guidelines and other regulations of the Oak Street Corridor Zoning District (the District) applies to the shaded parcels/lots along Oak Street, Lamar Street, Pine Street, and Hwy 377 as delineated on the Oak Street Regulating Plan (Oak Street Plan), attached as *Exhibit C* to the Ordinance adopting the District, which is hereby established and incorporated herein by reference.
- (b) *Oak Street Regulating Plan.* The Oak Street Plan establishes the character zones, build-to lines, build-to zones, parking setbacks, height maximums, and upper floor recess requirements for the District. The Oak Street Plan also establishes lot and block standards for subdivision within the District. Accordingly, to the extent standards established herein are in conflict with provisions of Chapter 9 of the Code of Ordinances, as amended, the standards herein shall control.
 - (1) *Character Zones Established.* The Oak Street Regulating Plan establishes three character zones:
 - (A) Oak Street Zone – The Oak Street Zone is intended to preserve, enhance, and reestablish the historic character of Oak Street between Byron Nelson, Parrish Ave and Hwy 377.
 - (B) Neighborhood Transition Zone – The Neighborhood Transition Zone along the cross streets intersecting Oak Street is intended to encourage a dense residential neighborhood to support the revitalization of the Oak Street Zone and provide for appropriate transitions between the historic residential district and commercial uses along Oak Street.
 - (C) Hwy 377 Zone – The Hwy 377 Zone is intended to provide appropriate development opportunities to take advantage of the Highway road access while providing appropriate transitions to pedestrian-oriented development along Oak Street.
 - (2) Note about measuring build-to lines, zones, and parking setbacks: Due to the public improvements planned for Oak Street including the realignment of travel lanes, addition of on-street parking, the future right-of-way lines and corresponding property lines are subject to change based on the approved streetscape plan. The future edge of pavement as shown in the Regulating Plan shall be the basis for establishing the build-to zones, lines and parking setback lines along Oak Street and any other street in the Oak Street Zoning District that requires public street improvements. If the existing street does not require any public improvements, the build-to zone, line and parking setback lines shall all be measured from the property/R-O-W line along that street frontage. The City Manager or designee may revise the build-to lines, zones, and parking setbacks to

accommodate required streetscape improvements based upon a Council approved Streetscape Plan and survey.

(c) *Non-conforming Uses and Substantial Modification/Destruction.*

- (1) Non-conforming uses shall be governed by article II, division 2 of this chapter.
- (2) Regardless of transfer of ownership, but otherwise subject to section 12.490(c)(1), existing buildings that do not conform to the provisions of this District may continue in use as they are until the building is reconstructed or substantially modified such that the collective reconstructions or modifications within any five (5) year period are valued at more than a total of fifty percent (50%) of the assessment value in the most recent official city tax rolls.

(d) *Applicability of Special Development Controls.* The special development controls of article VII of this chapter shall not apply unless otherwise provided in this division to the District. Article II, division 7 of this chapter (site plan requirements) shall apply to the District.

Sec. 12.491. Community Intent and Public Improvements. The Oak Street Corridor is a mixed use community anchored by City Hall and many successful businesses with their roots in the enduring qualities of Roanoke—its small town ambience and proud heritage. In order to grow and sustain downtown, the following is hereby established:

- (1) *Walkability.* In order to facilitate walkability and livability, Oak Street and intersecting streets within the District shall provide accessible sidewalks with “street” trees; cross-sections as delineated on the Oak Street Regulating Plan, incorporated herein by reference, are established to facilitate an integrated set of transportation choices—driving, walking and cycling, as well as to form public places bounded by building facades creating a sense of “outdoor rooms” or enclosure along the street or within building courtyards opening to the street.
- (2) *Public Improvements.* The public improvements within city right-of-way necessary to facilitate walkability, as delineated on the Oak Street Plan, shall be designed and constructed by the City or other public entities when funding becomes available; accordingly, new design and construction of private buildings and improvements within the district shall conform to and be complementary with those public improvements.
- (3) *Architecture.* Architectural standards herein (e.g., “windows generally shall be oriented vertically”) are functional in nature, not stylistic. Similarly, the building types depicted herein are to establish functional architectural results (e.g, definition between building stories), not a particular taste. Accordingly, architectural style and elements (e.g., Victorian, Arts & Crafts, color palettes, etc.), except for building materials, shall be determined through privately enforced covenants, conditions & restrictions (CC&Rs). Section 12.498 establishes the architectural standards. Section 12.499 sets forth the basic building types.

- (4) *Historic Preservation.* In addition, architectural design standards are established to promote the historic preservation of significant buildings on the National Register of Historic Places. Any change of use within a building identified as significant on the National Register that results in any exterior changes to the façade shall be reviewed as a Site Plan. Standards in Section 12.498 shall apply for all site plan reviews of historically significant structures.

Sec. 12.492. Schedule of Uses.

Due to the emphasis on urban form over land uses in the Oak Street District, general use categories have been identified by areas. Uses not listed in the following schedule, but are substantially similar, may be permitted upon the approval of the City Manager or his or her designee, subject to appeal to the City Council.

Table 1 – Schedule of Uses

Land Use	Oak Street Zone	Neighborhood Transition Zone	Hwy 377 Zone
Commercial Uses (Office & Retail Uses)			
<ul style="list-style-type: none"> ▪ Retail Sales or Service with <u>no drive through facility</u> (includes alcohol sales). Excluded from this category are retail sales and services establishments geared towards the automobile, including gasoline service stations. 	P	P/C (permitted only at corner sites on the ground floor)	P
<ul style="list-style-type: none"> ▪ Finance, Insurance, and Real Estate establishments including banks, credit unions, real estate, and property management services, <u>with no drive through facility</u> 	P	P/C (permitted only at corner sites on the ground floor)	P
<ul style="list-style-type: none"> ▪ Offices for business, professional, and technical uses such as accountants, architects, lawyers, doctors, etc. 	P	P	P
<ul style="list-style-type: none"> ▪ Food Service Uses such as full-service restaurants, cafeterias, and snack bars with no drive through facilities including café seating within a public or private sidewalk area with no obstruction of pedestrian circulation 	P	P/C (permitted only at corner sites on the ground floor)	P
Arts, Entertainment, and Recreation Uses			
<ul style="list-style-type: none"> ▪ Art galleries 	P	P/C (permitted only at corner sites on the ground floor)	P
<ul style="list-style-type: none"> ▪ Art, antique, furniture or electronics studio (retail, repair or fabrication; excludes auto electronics sales or service) 	P	P/C (permitted only at corner sites on the ground floor)	P
<ul style="list-style-type: none"> ▪ Theater, cinema, dance, or music establishment 	P	NP	P
<ul style="list-style-type: none"> ▪ Museums and other special purpose recreational institutions 	P	NP	P
<ul style="list-style-type: none"> ▪ Fitness, recreational sports, gym, or athletic club 	P	P/C (permitted only at corner sites on the ground floor)	P
<ul style="list-style-type: none"> ▪ Parks, greens, plazas, squares, and playgrounds 	P	P	P
Educational, Public Administration, Health Care and Other Institutional Uses			
<ul style="list-style-type: none"> ▪ Business associations and professional membership organizations 	P	P/C (permitted only at corner sites on the ground floor)	P
<ul style="list-style-type: none"> ▪ Schools, libraries, and community halls 	P	NP	P
<ul style="list-style-type: none"> ▪ Civic uses 	P	NP	P
<ul style="list-style-type: none"> ▪ Social and fraternal organizations 	P	P	P

Land Use	Oak Street Zone	Neighborhood Transition Zone	Hwy 377 Zone
▪ Social services and philanthropic organizations	P	NP	P
▪ Religious Institutions	P	NP	P
Residential Uses			
▪ Home Occupations	NA	P	NA
▪ Live/Work units	NA	P	NA
▪ Residential Apartments and/or condominiums	P	P	NP
▪ Upper floor residential uses ¹	P	P	P
▪ Single-family residential attached dwelling unit (Townhomes)	NP	P	NP
▪ Single-family residential detached dwelling unit	NP	P	NP
Other Uses			
▪ Model homes for sales and promotion**	NA	P	NP
▪ Any use with on- and off-premise alcohol sales as less than 50% of its gross sales revenue	A	A/C (in conjunction with corner commercial uses only)	A
▪ Any use with on- and off-premise alcohol sales as more than 50% of its gross sales revenue	SUP	SUP/C (in conjunction with corner commercial uses only)	SUP
▪ Full-service hotels	P	NP	P
▪ Bed and breakfast establishments	P	P	NP
▪ Parking, surface	P	A	P
▪ Parking, structured	P	P	P
▪ Sales from kiosks	P	NP	P
▪ Any permitted use with a drive through facility	NP	NP	SUP
▪ Farmer's Market	P	NP	P
▪ Veterinary clinic (no outdoor facilities for overnight storage of animals)	P	NP	P

P= Permitted by right NP= Not Permitted P/C= Permitted with conditions A= Permitted Accessory Use NA= Not applicable SUP = Permitted with a Specific Use Permit

Residential density and non-residential floor-to-area ratios are governed by height of buildings, setback lines and parking requirements. All allowed uses are permitted on any floor of a building unless specifically prohibited herein.

- (a) *Accessory Building Uses.* The massing and use of accessory buildings shall comply with those standards in the SF-7, article III, division 6 of this chapter or SFA, article III, division 7 of this chapter.
- (b) *Prohibited Uses.* Uses not specifically enumerated in the District, but are substantially similar, may be permitted upon the approval of the City Manager or his or her designee, subject to appeal to the City Council. All other uses shall be prohibited including but not limited to vehicular services/repair, wholesale, industrial, heavy manufacturing, drive-thru services and warehousing.

Sec. 12.493. Development Standards.

The following table shall establish the development standards for the three (3) different zones in the Oak Street Zoning district.

Table 2 – Development Standards

Zone	Oak Street Zone	Neighborhood Transition Zone	Hwy 377 Zone
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¹ Residential uses shall be permitted by right in the upper floors of all buildings

** Model homes are limited to a time period until all the homes are sold in the neighborhood.

Zone	<i>Oak Street Zone</i>	<i>Neighborhood Transition Zone</i>	<i>Hwy 377 Zone</i>
Standard	Build-to zones and setbacks shall be established in the Oak Street Regulating Plan.		
1. Build to zones and setbacks	<ul style="list-style-type: none"> A minimum of 75% of the building shall be built to the front build-to zone. Corner lots shall be built to the build-to-zone for a minimum of 35' from the corner along each street front. 	<ul style="list-style-type: none"> A minimum of 60% of the building shall be built to the front build-to zone. Corner lots shall be built to the build-to-zone for a minimum of 25' from the corner along each street front. 	<ul style="list-style-type: none"> A minimum of 60% of the building shall be built to the front build-to zone.
2. Building Height	Shall be as established in the Oak Street Regulating Plan		
a. First floor height	Min. 15 feet clear	Min. 15 feet clear for live/work units only; 10 feet min. for residential uses	Min. 15 feet clear
b. Upper floor height	10 feet clear	10 feet	10 feet
3. Buildable Area	A maximum of 90% of the lot area may be covered by building footprint.	A maximum of 75% of the lot area may be covered by building footprint.	A maximum of 80% of the lot area may be covered by building footprint.
4. Building Frontage required	Min. of 70% of the building façade along Oak and Lamar Streets shall be built within the built-to-zone. Min. of 30% of the building facades along all other streets shall be built to the build-to-zone.	Min. of 50% of the building façade along Pine and Lamar Streets shall be built within the build-to-zone Min. of 25% of the building facades on all other streets shall be built to the build-to-zone	NA
5. Encroachments over sidewalks or public R-O-W	No more than 4' horizontal encroachment over the sidewalk with min. vertical clearance over the sidewalk of 8'	Not permitted	Not permitted
6. Encroachments into setback area or yards	Permitted subject to D (4) above	No more than 50% of the required yard or setback	No more than 50% of the required yard or setback
7. Streetscape Standards	NA	<ul style="list-style-type: none"> Min. 6' wide Min. 6' wide Required at 50' on center along all public street frontages (excluding alleys) (min. 3" caliper tree measured at 6' above ground level) 	<ul style="list-style-type: none"> Min. 6' wide Min. 6' wide NA
8. Lot and Block Standards			
a. Block perimeter	Min. 1,200'; max. 1,600'	Min. 1,200'; max. 1,600'	Min. 1,200'; max. 1,600'
b. Lot width	Min. 20'; max. 400'	Min. 20'; max. 400'	Min. 20'; max. 400'
c. Lot depth	NA	NA	NA
d. Lot coverage	95%	75%	75%

^βWhere no sidewalks abutting the subject property exist, the applicant has the option of paying a fee in lieu of constructing the required 6' wide sidewalk. The fee shall be based upon the average per sq.ft. cost of a 6" thick concrete sidewalk at the time of development application and shall be established by the City Manager or designee subject to City Council approval on an annual basis.

[#]The applicant has the option of paying a fee in lieu of the Street Tree requirement. The fee shall be based on the average cost per caliper of a native canopy tree and shall be established by the City Manager or designee subject to City Council approval. In addition, the City Manager or designee may create a recommended tree palette for Street trees, subject to City Council approval.

Sec. 12.494. Parking.

- (a) *Oak Street Core Zone.* The number of off-street parking spaces required for uses within buildings and premises on lots adjacent to Oak Street shall conform to the “Schedule of Parking and Loading Requirements” contained in section 12.702 of this chapter, and in accordance with the regulating plan. Parking shall only be located behind the parking setback line as established in the Oak Street Regulating Plan *Exhibit C*. In addition, the following shall apply:
- (1) *Off-Street Parking.*
 - (A) For any parking lot permitted along the side of buildings on lots adjacent to Oak Street, it shall be no wider than sixty-five feet (65’), and a street-screen shall be provided such that the side of the parking bays closest to the street shall be screened by a wall or landscaped wrought iron fence three feet (3’) in height.
 - (B) When a streetscape improvement program is implemented, existing non-conforming off-street parking spaces within the public right-of-way will be replaced if feasible in terms of design; if particular spaces cannot be replaced, adjacent and area on-street parking spaces will be used as off-street parking credits to replace the loss of the non-conforming off-street parking spaces in order to achieve conformance with off-street parking requirements of this District.
 - (2) *Entertainment, Retail and Restaurant.* The number of off-street parking spaces required for retail services, retail goods sales; pharmacies; dry cleaners; art, antique, furniture or electronics studios (retail, repair or fabrication); restaurants, cafés, delis or coffee shops; and retail bakeries shall be waived for the first 1,500 square feet of retail floor space (excluding kitchen, administrative and storage space) for a particular use.
 - (3) *Residential.* A minimum of one (1) off-street parking space shall be required for each residential unit, unless a waiver is approved by the City Manager or his or her designee pursuant to a mixed use shared parking plan, subject to appeal to the City Council.
 - (4) *Lodging.* The requirement of three (3) extra spaces required for guests or visitors for the first twenty (20) rooms is waived for hotels and bed and breakfasts.
 - (5) *Shared Parking.* Off-street parking requirements for any and all uses permitted in the District may be waived subject to a shared parking agreement or a coordinated parking plan approved by the City Manager or his or her designee, subject to appeal to the City Council.

- (6) *Parking Lot Design.* Parking lot and space design is subject to sections 12.700(a) and 12.703(a) through (e) of this chapter, unless the City Manager or his or her designee approves an alternative design and/or paving material, subject to appeal to the City Council.

- (b) *Oak Street Transition District.*
 - (1) *Off-Street Parking Location.* Parking shall only be located behind the parking setback line as established in the Oak Street Regulating Plan. Garages may be located at the side or the rear of the primary building, set back at least ten feet (10') from the front façade of the primary building.
 - (2) *Parking Lot Design.* Parking space design is subject to section 12.700(a) of this chapter, as amended.

- (c) *Hwy 377 District.*
 - (1) *Off-Street Parking Location.* Parking shall only be located behind the parking setback line as established in the Oak Street Regulating Plan.
 - (2) *Parking Lot Design.* Parking space design is subject to section 12.700(a) of this chapter, as amended.

Sec. 12.495. Screening.

- (a) All buildings shall be designed such that no mechanical equipment (HVAC, etc.), except vents or stacks, is visible from the public right-of-way or open space, whether the equipment is located on the ground, exterior walls or the roof.
- (b) For uses on lots adjacent to Oak Street, loading and service areas shall be located at the rear of buildings utilizing the alley.

Sec. 12.496. Landscaping.

New landscaping or substantial reconfiguration of existing landscaping in the District shall comply as follows:

- (1) To ensure regional compatibility and reduce excessive vehicular emissions, all proposed plant materials should be grown/propagated and delivered from a nursery source located within a 200-mile radius to the site.
- (2) All efforts should be made to preserve existing plant materials that are in a desirable condition. Existing trees six inches (6") in diameter at breast-height or greater in height that are removed shall be replaced at an inch per inch ratio. Such replacement may be on site or in the street right of way as a street tree.

- (3) All proposed plant materials should conform to the American Standard for Nursery Stock, *ANSI Z60.1-1990*. The use of annuals is strongly discouraged. Seasonal bed color should be achieved through the use of either native or well adapted xeriphytic perennials. The use of St. Augustine turf grass shall not be permitted.
- (4) Pedestrian safety shall be considered in the location of planting beds and plant material locations.
- (5) Shade trees shall be a minimum of three inches (3") inches in caliper and ten feet (10') in height.
- (6) Ornamental trees should be a minimum two inches (2") in caliper and six feet (6') to eight feet (8') in height.
- (7) Container grown trees are preferred to ball and burlap and should have been in their current container for at least six (6) months prior to planting. Ball and burlap trees should not be loose in their balls and should have been cured for a minimum of one (1) year prior to planting. Curing time begins once the tree has been dug. Deciduous species should be planted while in dormancy.
- (8) All bed-areas should be treated with a four inch (4") cover of shredded hardwood mulch that is consistent in appearance with previous landscape installations. Bed areas shall be defined by the "shovel cut" technique; steel or plastic edging shall not be permitted.
- (9) Sod shall be the preferred method of turf installation. Sod shall be laid end-to-end during the growing season, while staggering each layer. Sod shall be rolled prior to the initial irrigation.
- (10) Even with the preferred pallet of native and well-adapted plant species, irrigation should be provided for, at a minimum, the first growing season following installation. The primary function of the irrigation system is as a means of establishing new tree, shrub, and bed (perennial) plantings.
- (11) The use of municipally-provided potable water for landscape irrigation is discouraged. All efforts should be made to incorporate the use of captured rainwater, ground water and/or recycled site water for all irrigation needs.
- (12) In areas where the use of municipally-provided potable water is the only feasible option, temporary above-ground irrigation should be installed for all tree, shrub, and bed plantings. Temporary irrigation should be actively maintained and routinely evaluated, and modifications should be made to ensure adequate coverage. All above ground irrigation components should be removed no later than one year after installation. Permanent in-ground irrigation should be provided for all turf areas regardless of the water source.
- (13) "High efficiency" equipment shall be used for all required irrigation components.

- (14) Drip irrigation is encouraged for all non-turf irrigation areas zones.
- (15) Irrigation delivery systems shall be designed in such a manner that water does not run off or over spray onto adjacent pavement, sidewalks, structures or other non-landscaped areas. Irrigated areas adjacent to structures should not spray within eighteen (18”) inches of the structural foundation.

Sec. 12.497. Signage.

For conforming uses and new signs for non-conforming uses, the standards in Table 3 shall apply and sign permits may be approved administratively unless specifically noted in this section. An applicant has the option to establish unique sign standards including size, color, type, design, and location based upon specific performance criteria. Such sign standards shall be reviewed by staff and is subject to approval of the City Council.

Table 3 – Sign Standards

Character Zone	Oak St. Core	Trans. Zone	Hwy 377	Standard
Sign Type				
(1) Building Signs	P	P	P	<ul style="list-style-type: none"> For all commercial uses fronting on Hwy 377: One sign per tenant space; area not to exceed 50 sq.ft. on the façade with the highway frontage. For all other commercial uses (retail, office, and restaurant): One sign per tenant space; area not to exceed 32 sq.ft. along each public street frontage. Second floor commercial uses may also be permitted one second floor wall sign per tenant space per public street frontage; area not to exceed 32 sq.ft. on the second floor facade along that public street. Live-Work and Home occupations: One sign limited to an area of 12 sq.ft. max. May encroach a maximum of 12” on to a sidewalk while maintaining a vertical clearance of 7’ from the finished sidewalk. Wall signs may be internally or externally lit.
(2) Monument Signs	NP	P	P	NT Zone: One monument sign per lot regardless of street frontage limited to a maximum of 30 sq.ft. per sign face and 5’ in height Hwy 377 Zone: One monument sign per lot per street frontage (no more than 2 per lot separated by at least 300 feet) limited to a maximum of 50 sq.ft. per sign face and 6’ in height.
(3) Window Signs	P	P	P	Limited to 10% of the window area The following shall be exempt from this limitation: <ul style="list-style-type: none"> Addresses, closed/open signs, hours of operation, credit card logos, real estate signs, and now hiring signs. Mannequins and storefront displays of merchandise sold. Interior directory signage identifying shopping aisles and merchandise display areas.
(4) Blade Signs	P	P	NP	<ul style="list-style-type: none"> Shall be permitted for all non-residential uses 6 sq.ft. maximum per sign face. May encroach a maximum of 2’ on to a sidewalk.

Character Zone	Oak St. Core	Trans. Zone	Hwy 377	Standard
				<ul style="list-style-type: none"> Blade signs may be attached to the building or hung under the soffit of an arcade or under a canopy/awning while maintaining a vertical clearance of 7' from the finished sidewalk.
(5) For sale/for lease signs	P	P	P	Same as Sign Ordinance
(6) Address signs	P	P	P	Is required to be a building sign located near the principal entrance to the building
(7) Temporary construction signs	P	P	P	1 free standing sign per lot during construction only; limited to 32 sq.ft.
(8) Banners	P	P	P	Same as Sign Ordinance
(9) Sandwich board signs	P	P	NP	<ul style="list-style-type: none"> Permitted only for retail, service, or restaurant uses Limited to 8 sq.ft. per storefront; Sign may not exceed 2 feet in width or 4 feet in height. A minimum of 4 feet of sidewalk shall remain clear. Chalkboards may be used for daily changing of messages. Readerboards (electronic and non-electronic) shall be prohibited. Sign shall be removed every day after the business is closed.
(10) Light Pole Banners	P	P	P	<ul style="list-style-type: none"> 8 sq.ft. per sign face. Limited to one per light pole All light pole banners shall be approved by the appropriate utility company prior to consideration by Sign Control Board. Light pole banners shall be limited to publicize community-wide events, holiday celebrations, public art, and other city sponsored events.
(11) Directory signs	P	P	P	<ul style="list-style-type: none"> Shall be allowed for all multi-tenant buildings only One directory sign per multi-tenant building limited to 10 sq.ft. in area Design of the sign shall be integral to the façade on which the sign is to be affixed.
(12) Neon signs	P	NP	NP	<ul style="list-style-type: none"> Shall be limited to no more than 50% of the permitted window or building sign area and in lieu of the same. Shall be permitted for restaurants, entertainment uses, and retail shopfronts.

Sec. 12.498. Architectural Standards & Design Guidelines.

Oak Street has an historic existing character that shall be preserved by rehabilitation of existing significant buildings. In addition, new and infill construction in the district shall reflect the character of the district during its historic period of significance.

The key design principles establish essential goals for development in the Oak Street district to ensure the preservation, sustainability, and visual quality of this unique environment. Buildings shall be located and designed so that they provide visual interest and create enjoyable, human-scaled spaces. The key design principles are:

- New buildings/building facades shall utilize building elements and details to achieve compatibility with existing buildings in the Oak Street district.

- Compatibility is not meant to be achieved through uniformity, but through the use of variations in building elements to achieve individual building identity.
 - Building facades must include appropriate architectural details and ornament to create variety and interest.
 - Buildings shall be built to, or close to, the sidewalk to define and enhance the pedestrian environment. The Oak Street Regulating Plan shall establish the build-to line and zones within which new buildings shall be constructed.
 - Open space(s) shall be incorporated to provide usable public areas integral to the downtown environment.
- (a) The following design standards and guidelines shall provide property owners, developers, city staff, and decision makers adequate design guidance for new and existing commercial buildings.

(1) *Location on the street.*

- (A) Buildings shall be oriented toward the major street front with the primary entrance located on that street. All primary entrances shall be oriented to the public sidewalk for ease of pedestrian access.

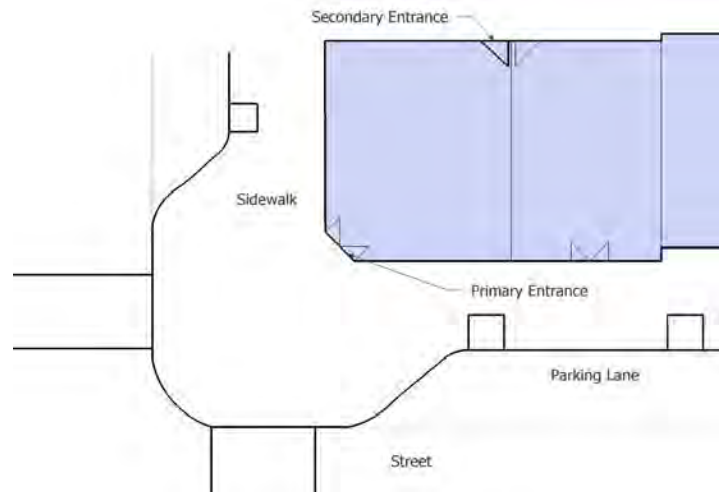


Image showing desired primary and secondary entrances to buildings in Downtown Roanoke.

- (B) At key intersections buildings located on corner lots shall utilize variations in building massing to emphasize street intersections as points of interest in the district. Maximum building heights shall be permitted to exceed by twenty-five percent (25%) for approximately twenty-five percent (25%) of the building frontage along each street façade.

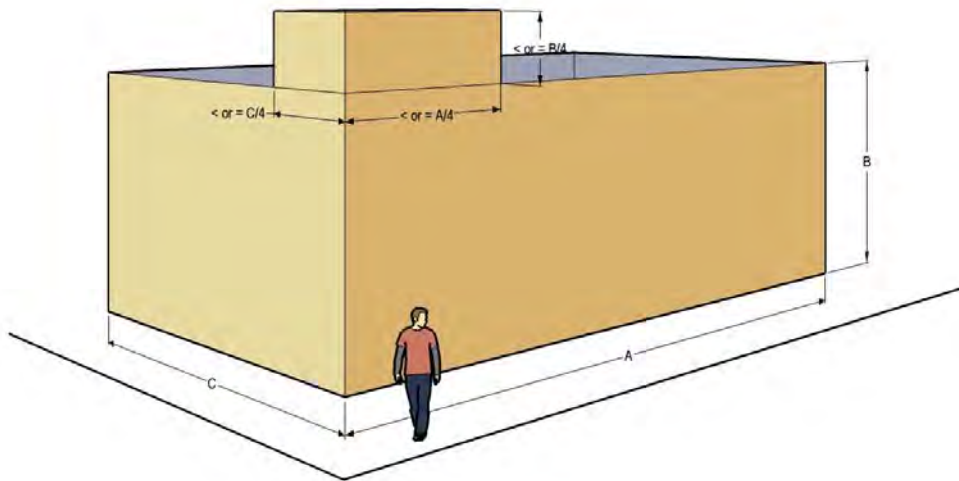


Image showing desired massing of corner buildings within the Oak Street Core Zone.

(2) *Pedestrian-Friendly Building Massing and Scale.*

- (A) A building's massing shall serve to define entry points and help orient pedestrians.
- (B) Buildings and/or facades shall emphasize and frame or terminate important vistas.
- (C) Non-residential and mixed use buildings in Oak Street District, to the extent practicable, shall maintain a twenty-five feet (25') to thirty-five feet (35') building facade widths or multiples thereof.
- (D) Variations in the rhythms within individual building facades shall be achieved within any block of building facades with architectural elements such as bays, columns, doors, windows, etc.
- (E) Breaks in the predominant rhythm may also be used to reinforce changes in massing and important elements such as building entrances, terminated vistas, or corner sites.
- (F) Porches, stoops, eaves, awnings, blade signs, arcades, colonnades and balconies should be used along commercial storefronts and they may protrude beyond the setback line provided that they do not inhibit pedestrian movement within the public right-of-way. Balconies shall have external bottom supports.



Variations in building rhythm using architectural features



Building massing used to emphasize entrances



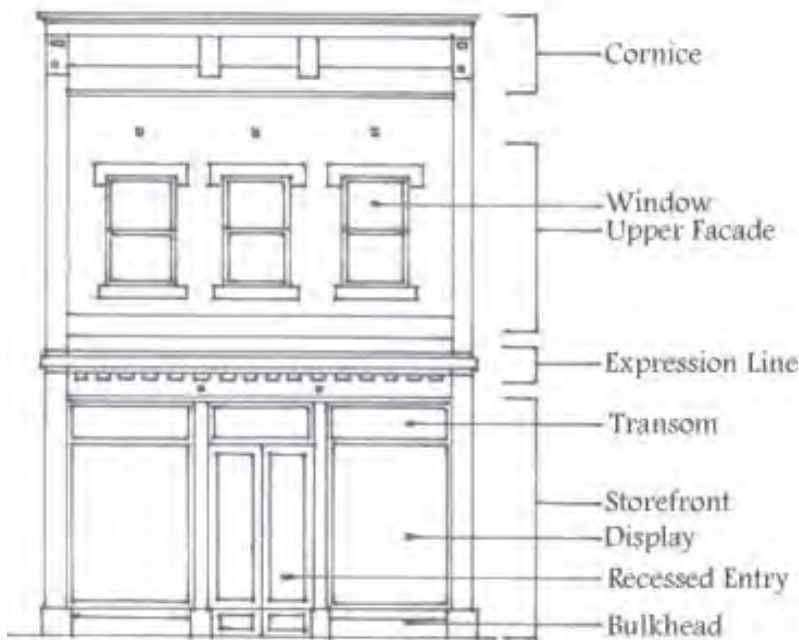
Allowed encroachments into the setback line



Retail buildings with balconies and architectural details that add interest along the streetscape

(3) *Architectural Elements and Storefronts.*

- (A) Architectural elements shall be designed to the appropriate scale and proportions of the selected architectural style. For example, building designs based on an Art Deco style shall utilize architectural elements of a scale and proportion characteristic of that style.
- (B) An expression line or equivalent architectural element shall delineate divisions between floors of all buildings, and a cornice shall delineate the tops of facades that do not utilize a pitched roof. For retail storefronts, a transom, display window area and bulkhead at the base shall be utilized.



- (C) Building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate. All building elements should be compatible with the architectural style, materials,

colors, and details of the building as a whole. Entrances to upper level uses may be defined and integrated into the design of the overall building facade.

- (D) *Roofs.* Flat roofs enclosed by parapets or sloped roofs shall be used to screen rooftop mechanical equipment. Mansard roofs and flat membrane-type roofs that are visible are prohibited.
- (E) *Doors and Windows.* Generally, windows shall be oriented vertically, and bay windows shall have external bottom supports. Dormer windows shall also be vertically proportioned and slightly shorter than the windows below. In order to provide clear views of merchandise and perceived connections.
- (F) *Transparency Required.* For all new construction and renovation, the street-level floor in the Oak Street Core Zone shall have transparent storefront windows covering no less than fifty percent (50%) of the façade area. Each floor of all building façades facing a street or plaza shall contain transparent windows covering at least fifteen percent (15%) of the façade area.
- (G) Ground floor retail building plate heights generally shall be at least fifteen feet (15') in height.
- (H) *Storefronts.* Retailers located at the street level shall primarily use storefronts to orient and advertise merchandise to customers. Retail buildings shall provide street-level pedestrian-oriented uses at the ground floor level. Storefronts on facade treatments that span multiple tenants shall use architecturally compatible materials, colors, details, awnings, signage, and lighting fixtures.



Retail storefronts with transparent windows



Vertically oriented windows with emphasis on corners and entrances.

(4) *Building Materials.*

- (A) At least eighty percent (80%) of the street facing (except alleys) facades of all new buildings (excluding doors and windows) shall be finished in one or more of the following materials:

- Masonry (brick, stone, cast stone, rock, marble, granite, glass block and/or tile);
- Cementitious-fiber clapboard (not sheet) with at least a fifty (50) year warranty;
- Split face concrete block or poured-in-place concrete;
- Up to twenty percent (20%) Wood or Exterior Insulating Finishing System (EIFS) as an accent only;
- Roofing materials (visible from any public right-of-way): copper, factory finished painted metal, slate, synthetic slate, terra cotta, cement tile, glass fiber shingles or similar materials.

(B) Side facades and rear facades shall be of finished quality and of the same color and materials that blend with the front of the building. Rear facades may be painted tilt-wall or painted block matching the same color of the rest of the building if the rear façade faces an alley or is not viewable from a public street or right-of-way.

(b) The following design standards and guidelines shall provide property owners, developers, city staff, and decision makers adequate design guidance for new and existing residential buildings types (including residential buildings converted to retail or office uses):

(1) *Location on the street.*

(A) All primary entrances shall address the primary street unless configured as a courtyard building.

(B) Garages generally shall be located on alleys at the rear of residential buildings; pull-through garages are allowed if the garage door is set back behind the rear façade of the main structure. If front-loaded garages are utilized on single-family residential lots, the garages shall be no greater than twelve feet (12') wide, and set back at least ten feet (10') measured from the face of the main structure closest to the garage or rotated ninety (90) degrees with windows on the wall facing the street. All garage doors shall be divided into single bays separated by at least an eighteen inch (18") column. Front-loaded garages on residential lots less than fifty feet (50') wide shall not be allowed. Town homes and courtyard apartments shall utilize rear-loaded garages.



Residential townhomes with primary entrances to the street



Live-work units with bay windows



Existing residential buildings converted to accommodate commercial uses

(2) *Pedestrian-Friendly Building Massing and Scale.*

- (A) On residential buildings, at least one of the following shall be utilized: porches, stoops, bay windows, balconies, masonry clad chimneys, attached pergolas or colonnades. Those architectural elements may encroach beyond the setback line.
- (B) The base of a building shall be delineated by a change in color, water mark or different material for at least the first eighteen inches (18”) of the façade; or where feasible, the grade of the slab or first floor elevation shall be elevated at least eighteen inches (18”) above the grade of the sidewalk.

(3) *Architectural Elements.*

- (A) Residential buildings shall have relatively flat fronts and simple roofs with most building wing articulations set at the rear of the structure. Window projections, stoops, porches, balconies, and similar extensions are exempt from this standard.
- (B) Gable roofs, if provided, shall have a minimum pitch of 5/12. When hipped roofs are used, the minimum pitch shall be 6/12. Other roof types shall be appropriate to the architectural style of the building.
- (C) Architectural embellishments that add visual interest to the roofs, such as dormers and masonry chimneys may be provided.



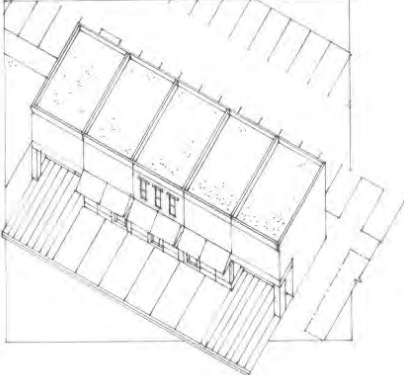
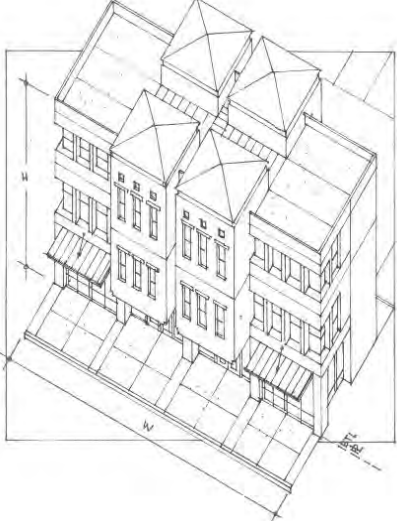
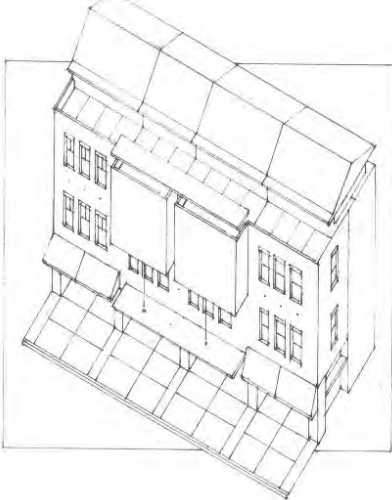
Residential townhomes with stoops, dormers, and other architectural embellishments that add visual interest along the street.

(4) *Building Materials.*

- (A) The following shall be permitted finishes for street fronting facades of all residential buildings and live/work units:
 - (i) Cementitious-fiber clapboard (not sheet) with at least a fifty (50) year warranty;
 - (ii) Masonry (brick; stone; man-made stone and stucco utilizing a three-step process).
- (B) The following shall be allowed up to twenty-five percent (25%) as an accent material:
 - (i) Wood;
 - (ii) Exterior Insulating Finishing System (EIFS) or similar material over a cementitious base, rock, glass block and tile.
- (C) Side and rear facades shall be of finished quality and of the same color and materials that blend with the front of the building.
- (D) Roofing materials (visible from any public right-of-way): copper, factory finished painted metal, slate, synthetic slate, terra cotta, cement tile, glass fiber shingles.
- (E) An enclosed garage or carport shall be designed and constructed of the same material as the primary

Sec. 12.499. Building Types.

In addition to single-family dwellings and town homes on Lamar Street, the following establishes the prototypical building types for the District:

<p>2 Story Commercial [Oak Street Core Zone, Hwy 377 Zone, and corner commercial uses in the Neighborhood Transition Zone]</p>	
<p>3 Story Mixed Use (Oak Street Core Zone and Hwy 377 Zone)</p>	
<p>4 Story Mixed Use (Oak Street Core Zone and Hwy 377 Zone)</p>	

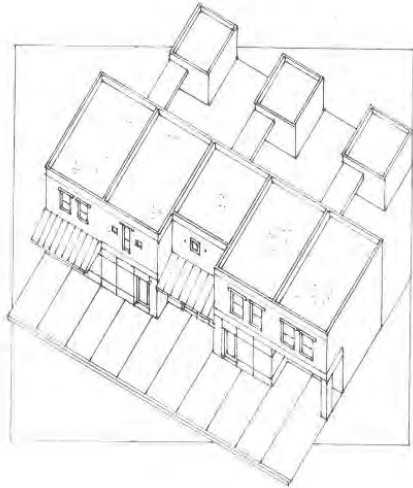
**2 Story Live-Work
with pitched roof
and garages
optional**

**(Oak Street Core
Zone and
Neighborhood
Transition Zone)**



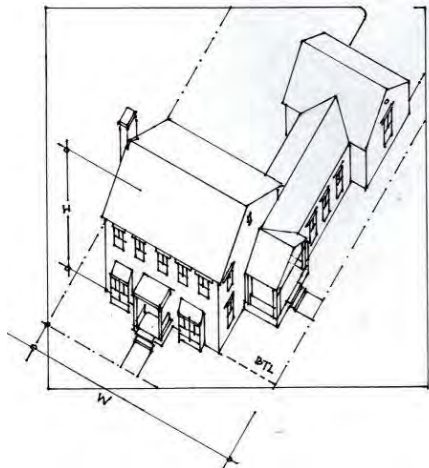
**2 Story Live-Work
with Flat Roof and
garages optional**

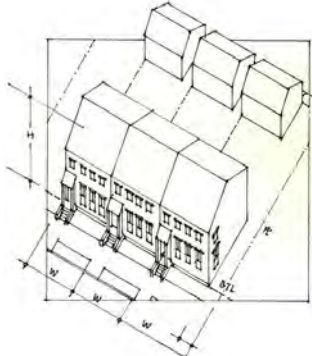
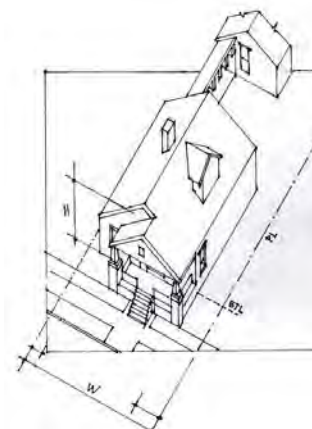
**(Oak Street Core
Zone and
Neighborhood
Transition Zone)**



**2 Story Multi-unit
house**

**(Neighborhood
Transition Zone)**



<p>2 Story Townhouse (Neighborhood Transition Zone)</p>	
<p>1-2 Story detached house (Neighborhood Transition Zone)</p>	

Sec. 12.500. Definitions.

Alley means the right of way for vehicles and pedestrians within a block that provides access to the rear of buildings, vehicle parking, utility meters, and service areas. An easement for public access is required if the alley is a private right-of-way.

Awning/Canopy means an awning is a cantilevered, projected or suspended cover over the sidewalk portion of any public street. Awnings may also be roof-like coverings, usually of canvas or metal and often adjustable, placed over the sidewalk, windows, or doors to provide protection from sun and rain. Awnings shall have a minimum clear height of eight feet (8') from the finished sidewalk in front of it.

Block is an increment of land comprised of lots, alleys, and tracts circumscribed by streets.

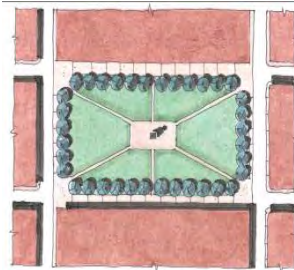
Build-to Line or Build-to Zone shall be the line or area within which the principal building's front façade shall be built.

Building Permit means an official document or certificate issued by the City of Roanoke authorizing erection, construction, renovation, maintenance, or any other specified activity on any building, structure or land, or on any installations or facilities therein. The term "building permit" shall include but not be limited to building permits, electrical permits, mechanical permits, and plumbing permits.

Certificate of Occupancy means an official certificate issued by the City through the Administrative Official which indicates conformance with building, zoning and health and safety regulations and authorizes legal use and occupancy of the premises for which it is issued.

Civic Space means publicly accessible open space in the form of parks, courtyards, forecourts, plazas, greens, pocket parks, playgrounds, etc. They may be privately or publicly owned. For all residential uses, privately accessible open spaces such as courtyards, porches, and balconies may also be considered as Civic Space for the purposes of this ordinance.

Square means a civic/open space available for unstructured recreation and civic purposes. A square is spatially defined by buildings. Its landscape shall consist of landscaping, hardscaping, water features, pathways, and pedestrian amenities arranged in formal and informal patterns. Squares shall be located at the intersection of important streets.



Plaza means a primarily hardscaped civic/open space with formal landscaping, available for civic purposes and commercial activities. A plaza shall be spatially defined by buildings.



Playground means a civic/open space designed and equipped for children's recreation. A playground shall be fenced and may include an open shelter. Playgrounds shall be located within residential areas and may be placed within a block as illustrated. They may be included in other open spaces.

Colonnade or Arcade is a roofed or built structure, extending beyond the ground floor front façade of a building and over the sidewalk or civic space. A colonnade or arcade shall be open to the street except for supporting columns, piers, or arches. Residential or office units may occupy the space over the colonnade or arcade.

Common Lot Line means a lot line shared by more than one lot shall be a common lot line.

Corner Site/Lot shall be one that has more than one intersecting street frontages (with the exception of alleys).

Interior Site/Lot shall be one that has only one public street frontage (with the exception of alleys)

Live-Work Unit means a live-work unit is a dwelling unit that is also used for work purposes, provided that the ‘work’ component is restricted to the uses of professional office, artist’s workshop, studio, or other similar uses and is located on the street level. The ‘live’ component may be located on the street level (behind the work component) or any other level of the building.

Parking Setback Line means the line behind which *ground floor surface parking* may be located on any lot in the Oak Street District. The parking setback line shall be established in the regulating plan by frontage type.

Regulating Plan means a plan for adoption of zoning and a conceptual plan that establishes the location of frontages, streetscape standards, and other development standards within such frontages, subject to changes within such plan pursuant to the terms of this Ordinance.

Sign, blade.



Means an attached sign oriented perpendicular to the face of the building which projects (vertically or horizontally) more than twelve inches (12’) beyond the surface of the building to which it is affixed or supported.

Sign, Directory.



Means a permanent on-site attached wall sign providing direction to or identifying the buildings/suites in the development/building.

Sign, Light Pole Banner.



Means a banner sign attached to a light/utility pole along a public street or within a public park.

Sign, Sandwich Board.



A portable sign consisting of two panels of equal size, which are hinged at the top and or a single panel placed on the ground or pavement so as to be self-supporting.

Stoop.



A small porch or set of steps at the front entrance of a house.

EXHIBIT B**Legal Description**

<u>PROPERTY ID</u>	<u>PROPERTY ADDRESS</u>	<u>LEGAL DESCRIPTION</u>
<u>278643</u>	<u>211 S OAK ST</u>	<u>O T ROANOKE BLK 4 LOT 1R</u>
<u>158513</u>		<u>O T ROANOKE BLK 5 LOT 16</u>
<u>68878</u>	<u>313 S WALNUT</u>	<u>A0923A MEP & PRR, TR 96, .23 ACRES, OLD DCAD TR #33</u>
<u>271438</u>	<u>300 MAIN</u>	<u>O T ROANOKE BLK 7 LOT 1R</u>
<u>77857</u>	<u>208 OAK</u>	<u>O T ROANOKE BLK 3 LOT 4,5(W1/2)</u>
<u>116847</u>	<u>408 N PINE ST</u>	<u>O T ROANOKE BLK 23 LOT 7A</u>
<u>240031</u>	<u>304 LAMAR ST</u>	<u>FANNING ADDN LOT 1</u>
<u>71865</u>	<u>OAK ST</u>	<u>O T ROANOKE BLK 12 LOT 19,20,21(S22.5' OF N95.5')</u>
<u>525114</u>	<u>115 N OAK ST</u>	<u>TORTILLA FLATS ESTATE BLK 12 LOT 19R</u>
<u>68589</u>	<u>US 377</u>	<u>A0603A D. HOOVER, TR 17, .69 ACRES, OLD DCAD TR 9A</u>
<u>68591</u>		<u>A0603A D. HOOVER, TR 16, .2 ACRES</u>
<u>70176</u>	<u>301 MORNINGSIDE ST</u>	<u>MORNINGSIDE ADDN (ROANOKE) BLK 1 LOT 4</u>
<u>71558</u>	<u>OAK ST</u>	<u>O T ROANOKE BLK 6 LOT 7</u>
<u>526201</u>	<u>301 BOWIE ST</u>	<u>NELSON ADDN BLK 7 LOT 4R</u>
<u>71546</u>		<u>O T ROANOKE BLK 6 LOT 4,5,6 (E 60')</u>
<u>68517</u>	<u>MORNINGSIDE ST</u>	<u>A0603A D. HOOVER, TR 36, 2.95 ACRES, OLD DCAD TR 9D</u>
<u>71967</u>		<u>O T ROANOKE BLK 14 LOT 10</u>
<u>71773</u>	<u>112 OAK ST</u>	<u>O T ROANOKE BLK 11 LOT 16,17</u>
<u>71979</u>	<u>206 OAK ST</u>	<u>O T ROANOKE BLK 14 LOT 6-8</u>
<u>268311</u>	<u>300 TRAVIS ST</u>	<u>O T ROANOKE BLK 18 LOT 7R</u>
<u>72622</u>	<u>500 US 377 & HOUSTON</u>	<u>O T ROANOKE BLK 28 LOT 2 & 3</u>
<u>72535</u>	<u>405 N PINE ST</u>	<u>O T ROANOKE BLK 22 LOT 10R</u>

<u>71754</u>		<u>O T ROANOKE BLK 11 LOT 12,13</u>
<u>71960</u>	<u>209 OAK ST</u>	<u>O T ROANOKE BLK 13 LOT 1,2,3(S50' OF N71' OF EACH)</u>
<u>71862</u>	<u>OAK ST</u>	<u>O T ROANOKE BLK 12 LOT 19,20,21(S23' OF N73')</u>
<u>68601</u>	<u>309 S WALNUT</u>	<u>A0603A D. HOOVER, TR 29, .35 ACRES, OLD DCAD TR 10B</u>
<u>71949</u>	<u>215 OAK ST</u>	<u>O T ROANOKE BLK 13 LOT 16,17,18 (S 1/3)</u>
<u>116848</u>	<u>412 N PINE ST</u>	<u>O T ROANOKE BLK 23 LOT 7B</u>
<u>72512</u>	<u>408 N OAK ST</u>	<u>O T ROANOKE BLK 22 LOT 7(N30'),8(S40')</u>
<u>72388</u>	<u>209 TRAVIS ST</u>	<u>O T ROANOKE BLK 22 LOT 1</u>
<u>71731</u>	<u>207 MAIN ST</u>	<u>O T ROANOKE BLK 11 LOT 1-3</u>
<u>72001</u>	<u>214 N PINE</u>	<u>O T ROANOKE BLK 15 LOT 7 (S40) & 8(S40 OF W1/2)</u>
<u>68868</u>	<u>WALNUT ST</u>	<u>A0923A MEP & PRR, TR 94, .22 ACRES, OLD DCAD TR #31A</u>
<u>72302</u>	<u>301 N OAK ST</u>	<u>O T ROANOKE BLK 20 LOT 1,2,3 (S 90')</u>
<u>72399</u>	<u>205 TRAVIS ST</u>	<u>O T ROANOKE BLK 22 LOT 2,3</u>
<u>72531</u>	<u>206 DENTON</u>	<u>O T ROANOKE BLK 22 LOT 11(E25' OF N70'),12(N70')</u>
<u>71403</u>	<u>201 PINE ST</u>	<u>O T ROANOKE BLK 3 LOT 13,14,15</u>
<u>71858</u>	<u>MAIN ST</u>	<u>O T ROANOKE BLK 12 LOT 3(W2'),4,5,6</u>
<u>163028</u>	<u>300-324 US 377</u>	<u>O T ROANOKE BLK 20 LOT 7 ACRES 0.0803</u>
<u>71703</u>	<u>303 MAIN</u>	<u>O T ROANOKE BLK 10 LOT 4-6 (E1/2)</u>
<u>71865</u>	<u>OAK ST</u>	<u>O T ROANOKE BLK 12 LOT 19,20,21(S22.5' OF N95.5')</u>
<u>68554</u>	<u>300 LAMAR</u>	<u>A0603A D. HOOVER, TR 26, .5 ACRES</u>
<u>68881</u>	<u>309 S WALNUT</u>	<u>A0923A MEP & PRR, TR 95, .24 ACRES, OLD DCAD TR #33A</u>
<u>76769</u>		<u>O T ROANOKE BLK 11 LOT 4-6(N40')</u>
<u>151182</u>		<u>A0603A D. HOOVER, TR 28, .01 ACRES</u>
<u>152055</u>		<u>A0923A MEP & PRR, TR 92, .11 ACRES, PER NEW MAP</u>
<u>71571</u>	<u>206 MAIN ST</u>	<u>O T ROANOKE BLK 6 LOT 19-21</u>

<u>115481</u>	<u>1431 ROANOKE RD</u>	<u>MORNINGSIDE ADDN (ROANOKE) BLK 1 LOT 3</u>
<u>122539</u>	<u>205 RUSK ST</u>	<u>O T ROANOKE BLK 14 LOT 4,5(E30')</u>
<u>72625</u>	<u>HOUSTON & BYRON NELSON</u>	<u>O T ROANOKE BLK 29 LOT 2 & 3</u>
<u>202803</u>	<u>OAK ST</u>	<u>O T ROANOKE BLK 19 LOT 8R</u>
<u>207973</u>	-	<u>O T ROANOKE BLK 30 LOT 20' ALLEY(E OF LOT 3)</u>
<u>71815</u>	<u>104 N OAK ST</u>	<u>O T ROANOKE BLK 11 LOT 8R</u>
<u>69747</u>	-	<u>BRAND & BOWEN'S BLK 27 LOT 10</u>
<u>71439</u>	<u>201 OAK</u>	<u>O T ROANOKE BLK 4 LOT 13R</u>
<u>72555</u>	<u>301 TRAVIS</u>	<u>O T ROANOKE BLK 23 LOT 5 & 6(EXCEPT N14')</u>
<u>71393</u>	<u>200 OAK ST</u>	<u>O T ROANOKE BLK 3 LOT 11,12</u>
<u>191327</u>	<u>US 377</u>	<u>A0603A D. HOOVER, TR 19,20A, .6158 ACRES</u>
<u>71541</u>	<u>203 BOWIE</u>	<u>O T ROANOKE BLK 6 LOT 3 (S 1/2)</u>
<u>70181</u>	<u>213 MORNINGSIDE ST</u>	<u>MORNINGSIDE ADDN (ROANOKE) BLK 1 LOT 7</u>
<u>149173</u>	-	<u>BRAND & BOWEN'S BLK 27 LOT 9</u>
<u>76686</u>	-	<u>O T ROANOKE BLK 19 LOT 4</u>
<u>72242</u>	<u>301 N PINE ST</u>	<u>O T ROANOKE BLK 19 LOT 1</u>
<u>72622</u>	<u>500 US 377 & HOUSTON</u>	<u>O T ROANOKE BLK 28 LOT 2 & 3</u>
<u>69853</u>	-	<u>BRAND & BOWEN'S BLK 31 LOT 1</u>
<u>158514</u>	-	<u>O T ROANOKE BLK 6 LOT 8</u>
<u>268313</u>	<u>302 BOWIE ST</u>	<u>O T ROANOKE BLK 2 LOT 7R</u>
<u>72525</u>	<u>204 DENTON DR</u>	<u>O T ROANOKE BLK 22 LOT 10(N 1/2),11(W 1/2 OF N 1/2)</u>
<u>71509</u>	-	<u>O T ROANOKE BLK 5 LOT 15</u>
<u>71376</u>	<u>204 S OAK ST</u>	<u>O T ROANOKE BLK 3 LOT 7,8,9,10</u>
<u>68563</u>	<u>200 LAMAR ST</u>	<u>A0603A D. HOOVER, TR 23, 1.25 ACRES, OLD DCAD TR 14</u>
<u>69847</u>	<u>PINE ST</u>	<u>BRAND & BOWEN'S BLK 31 LOT 2</u>

<u>75753</u>	<u>OAK ST</u>	<u>BRAND & BOWEN'S BLK 29 LOT 1</u>
<u>69844</u>	<u>207 HOUSTON ST</u>	<u>BRAND & BOWEN'S BLK 30 LOT 4</u>
<u>163032</u>	<u>300-324 US 377</u>	<u>O T ROANOKE BLK 20 LOT 10 ACRES 0.0803</u>
<u>68547</u>	<u>302 LAMAR DR</u>	<u>A0603A D. HOOVER, TR 27, .39 ACRES, OLD DCAD TR 11</u>
<u>71880</u>	<u>OAK ST</u>	<u>O T ROANOKE BLK 12 LOT 19,20,21(S21.5' EACH)</u>
<u>185071</u>	<u>SH 114</u>	<u>O T ROANOKE BLK 30 LOT 3 ACRES 0.194</u>
<u>71885</u>	<u>OAK ST</u>	<u>O T ROANOKE BLK 12 LOT 19,20,21(N22.5' OF S44')</u>
<u>70157</u>		<u>MORNINGSIDE ADDN (ROANOKE) BLK 1 LOT 1</u>
<u>72310</u>	<u>300-324 US 377</u>	<u>O T ROANOKE BLK 20 LOT 4</u>
<u>71421</u>	<u>210 S US 377</u>	<u>O T ROANOKE BLK 4 LOT 4,5,6</u>
<u>71750</u>	<u>MAIN ST /OAK</u>	<u>O T ROANOKE BLK 11 LOT 7(ALL),8(S15')</u>
<u>71740</u>	<u>205 MAIN ST</u>	<u>O T ROANOKE BLK 11 LOT 4-6 (S 100')</u>
<u>158533</u>		<u>O T ROANOKE BLK 14 LOT 11</u>
<u>71532</u>	<u>111 S PINE ST</u>	<u>O T ROANOKE BLK 6 LOT 1R</u>
<u>158537</u>		<u>O T ROANOKE BLK 15 LOT 4</u>
<u>71988</u>	<u>210 N PINE</u>	<u>O T ROANOKE BLK 15 LOT 5,6</u>
<u>72626</u>	<u>104 HOUSTON ST</u>	<u>O T ROANOKE BLK 28 LOT 4</u>
<u>291769</u>	<u>208 N US 377</u>	<u>O T ROANOKE BLK 13 LOT 10R</u>
<u>71593</u>		<u>O T ROANOKE BLK 7 LOT 4-8 (E 70')</u>
<u>71524</u>	<u>101 S OAK ST</u>	<u>O T ROANOKE BLK 5 LOT 17,18,19,20,21</u>
<u>70179</u>	<u>211 MORNINGSIDE</u>	<u>MORNINGSIDE ADDN (ROANOKE) BLK 1 LOT 6</u>
<u>149175</u>	<u>SH 114</u>	<u>BRAND & BOWEN'S BLK 29 LOT 4(ALL),5(S1/2)</u>
<u>71503</u>	<u>US 377</u>	<u>O T ROANOKE BLK 5 LOT 10(N1/2),11,12,13,14</u>
<u>71880</u>	<u>OAK ST</u>	<u>O T ROANOKE BLK 12 LOT 19,20,21(S21.5' EACH)</u>
<u>158526</u>		<u>O T ROANOKE BLK 11 LOT 15</u>

<u>72553</u>	<u>303 TRAVIS</u>	<u>O T ROANOKE BLK 23 LOT 3,4</u>
<u>72286</u>	<u>309 N PINE ST</u>	<u>O T ROANOKE BLK 19 LOT 10R</u>
<u>69849</u>	<u>605 N PINE ST</u>	<u>BRAND & BOWEN'S BLK 30 LOT 6</u>
<u>69839</u>	<u>SH 114</u>	<u>BRAND & BOWEN'S BLK 29 LOT 3</u>
<u>71885</u>	<u>OAK ST</u>	<u>O T ROANOKE BLK 12 LOT 19,20,21(N22.5' OF S44')</u>
<u>72340</u>	<u>401 N OAK ST</u>	<u>O T ROANOKE BLK 21 LOT 1(S1/2),2(E22' OF S1/2)</u>
<u>72602</u>	<u>500 N PINE ST</u>	<u>O T ROANOKE BLK 26 LOT 2 (S 75')</u>
<u>220147</u>	<u>110 S US 377 & BOWIE ST</u>	<u>O T ROANOKE BLK 5 LOT 4R</u>
<u>230834</u>	<u>326 N US377</u>	<u>O T ROANOKE BLK 20 LOT 11R</u>
<u>202919</u>	-	<u>BRAND & BOWEN'S BLK 27 LOT 1R</u>
<u>72591</u>	<u>206 SH 114</u>	<u>O T ROANOKE BLK 30 LOT 4</u>
<u>291771</u>	<u>US 377</u>	<u>O T ROANOKE BLK 13 LOT 11R</u>
<u>72594</u>	<u>SH 114</u>	<u>O T ROANOKE BLK 31 LOT 3</u>
<u>71906</u>	<u>OAK ST</u>	<u>O T ROANOKE BLK 13 LOT 1,2(S 25' EACH)</u>
<u>70178</u>	<u>209 MORNINGSIDE</u>	<u>MORNINGSIDE ADDN (ROANOKE) BLK 1 LOT 5</u>
<u>273052</u>	<u>216 LAMAR ST</u>	<u>FANNING ADDN BLK 2 LOT 1</u>
<u>149177</u>	-	<u>BRAND & BOWEN'S BLK 31 LOT 3</u>
<u>71964</u>	-	<u>O T ROANOKE BLK 14 LOT 1</u>
<u>71782</u>	<u>114 OAK ST</u>	<u>O T ROANOKE BLK 11 LOT 18</u>
<u>71885</u>	<u>OAK ST</u>	<u>O T ROANOKE BLK 12 LOT 19,20,21(N22.5' OF S44')</u>
<u>273053</u>	<u>220 LAMAR ST</u>	<u>FANNING ADDN BLK 2 LOT 2</u>
<u>76769</u>	-	<u>O T ROANOKE BLK 11 LOT 4-6(N40')</u>
<u>72612</u>	<u>508 N PINE ST</u>	<u>O T ROANOKE BLK 26 LOT 3 (S 1/2)</u>
<u>163026</u>	<u>300-324 US 377</u>	<u>O T ROANOKE BLK 20 LOT 5 ACRES 0.0803</u>
<u>73360</u>	<u>OAK THE CLUSTER ST</u>	<u>BRAND & BOWEN'S BLK 27 LOT 4,5,6</u>

<u>72625</u>	<u>HOUSTON & BYRON NELSON</u>	<u>O T ROANOKE BLK 29 LOT 2 & 3</u>
<u>71443</u>	<u>111 S OAK</u>	<u>O T ROANOKE BLK 5 LOT 1,2,3</u>
<u>71386</u>	<u>205 LAMAR ST</u>	<u>O T ROANOKE BLK 3 LOT 5(E1/2),6</u>
<u>71910</u>	<u>-</u>	<u>O T ROANOKE BLK 13 LOT 3 (S 46.8')</u>
<u>71740</u>	<u>205 MAIN ST</u>	<u>O T ROANOKE BLK 11 LOT 4-6 (S 100')</u>
<u>72376</u>	<u>409 N OAK ST</u>	<u>O T ROANOKE BLK 21 LOT 10,11,12</u>
<u>72628</u>	<u>505 N OAK</u>	<u>O T ROANOKE BLK 28 LOT 1(N78' OF E68')</u>
<u>163029</u>	<u>300-324 US 377</u>	<u>O T ROANOKE BLK 20 LOT 8 ACRES 0.0803</u>
<u>70175</u>	<u>-</u>	<u>MORNINGSIDE ADDN (ROANOKE) BLK 1 LOT 2</u>
<u>71271</u>	<u>109 N OAK ST</u>	<u>O T ROANOKE BLK 12 LOT 1,2,3(N23.6')</u>
<u>72331</u>	<u>309 N OAK ST</u>	<u>O T ROANOKE BLK 20 LOT 16R</u>
<u>72382</u>	<u>405 N OAK ST</u>	<u>O T ROANOKE BLK 21 LOT 1,2,3 (N 70')</u>
<u>72516</u>	<u>412 N OAK</u>	<u>O T ROANOKE BLK 22 LOT 9 & 8 (N 10')</u>
<u>72618</u>	<u>105 DENTON</u>	<u>O T ROANOKE BLK 28 LOT 1(W72')</u>
<u>71721</u>	<u>314 RUSK</u>	<u>O T ROANOKE BLK 10 LOT 7-9 (E 1/2)</u>
<u>71975</u>	<u>205 RUSK</u>	<u>O T ROANOKE BLK 14 LOT 3</u>
<u>72005</u>	<u>322 AUSTIN ST</u>	<u>O T ROANOKE BLK 15 LOT 7 (N100) & 8 (N100 W1/2)</u>
<u>158534</u>	<u>-</u>	<u>O T ROANOKE BLK 14 LOT 12</u>
<u>72080</u>	<u>303 AUSTIN ST</u>	<u>O T ROANOKE BLK 18 LOT 4</u>
<u>72134</u>	<u>-</u>	<u>O T ROANOKE BLK 18 LOT 5</u>
<u>71983</u>	<u>212 OAK ST</u>	<u>O T ROANOKE BLK 14 LOT 9</u>
<u>164532</u>	<u>OAK ST</u>	<u>O T ROANOKE BLK 12 LOT 19,20,21(S25' OF N50')</u>
<u>158539</u>	<u>301 AUSTIN</u>	<u>O T ROANOKE BLK 18 LOT 6</u>
<u>72266</u>	<u>704 OAK ST</u>	<u>O T ROANOKE BLK 19 LOT 5</u>
<u>76769</u>	<u>-</u>	<u>O T ROANOKE BLK 11 LOT 4-6(N40')</u>

<u>163031</u>	<u>300-324 US 377</u>	<u>O T ROANOKE BLK 20 LOT 9 ACRES 0.0803</u>
<u>69842</u>	<u>OAK ST</u>	<u>BRAND & BOWEN'S BLK 30 LOT 2(N1/2),3</u>
<u>72558</u>	<u>302 DENTON ST</u>	<u>O T ROANOKE BLK 23 LOT 8</u>
<u>268312</u>	<u>300 BOWIE ST</u>	<u>O T ROANOKE BLK 2 LOT 6R</u>
<u>71299</u>	<u>101 N OAK</u>	<u>O T ROANOKE BLK 12 LOT 1,2(S25' EACH)</u>
<u>72364</u>	<u>101 TRAVIS ST</u>	<u>O T ROANOKE BLK 21 LOT 4R</u>
<u>71718</u>		<u>O T ROANOKE BLK 10 LOT 7-9 (W 1/2)</u>
<u>72321</u>	<u>305 N OAK</u>	<u>O T ROANOKE BLK 20 LOT 1,2,3 (N 50')</u>
<u>72502</u>	<u>404 N OAK ST</u>	<u>O T ROANOKE BLK 22 LOT 6 & 7 (S 19.5')</u>
<u>152733</u>	<u>501 N OAK ST</u>	<u>O T ROANOKE BLK 28</u>
<u>523496</u>		<u>O T ROANOKE BLK 12 LOT 7R</u>
<u>240044</u>	<u>306 LAMAR</u>	<u>FANNING ADDN LOT 2</u>
<u>68586</u>	<u>US 377</u>	<u>A0603A D. HOOVER, TR 18, .0562 ACRES, OLD DCAD TR 15B</u>
<u>68488</u>	<u>330 S WALNUT</u>	<u>A0603A D. HOOVER, TR 30, .07 ACRES, OLD DCAD TR 10</u>
<u>71363</u>	<u>301 LAMAR ST</u>	<u>O T ROANOKE BLK 2 LOT 9,10</u>
<u>71601</u>	<u>302 MAIN ST</u>	<u>O T ROANOKE BLK 7 LOT 11-15 (E 50')</u>
<u>71951</u>	<u>213 OAK ST</u>	<u>O T ROANOKE BLK 13 LOT 16,17,18 (N 2/3)</u>
<u>71915</u>	<u>205 OAK ST</u>	<u>O T ROANOKE BLK 13 LOT 1,2(N43.5' OF S68.5' OF EACH) 3(N22' OF S68.5')</u>
<u>163027</u>	<u>300-324 US 377</u>	<u>O T ROANOKE BLK 20 LOT 6 ACRES 0.0803</u>
<u>71431</u>	<u>204 S US 377</u>	<u>O T ROANOKE BLK 4 LOT 7,8,9,10,11,12</u>
<u>72606</u>	<u>504 PINE</u>	<u>O T ROANOKE BLK 26 LOT 2 (N 65')</u>
<u>148835</u>	<u>PINE & ALLEY</u>	<u>O T ROANOKE BLK 23 LOT 5,6(N14')</u>
<u>69841</u>	<u>203 HOUSTON</u>	<u>BRAND & BOWEN'S BLK 30 LOT 1(ALL),2(S1/2)</u>
<u>73359</u>	<u>509 N PINE ST</u>	<u>BRAND & BOWEN'S BLK 27 LOT 11,12(S50'EA)</u>
<u>71770</u>		<u>O T ROANOKE BLK 11 LOT 14</u>

<u>149176</u>		<u>BRAND & BOWEN'S BLK 30 LOT 5</u>
<u>69748</u>	<u>PINE ST</u>	<u>BRAND & BOWEN'S BLK 27 LOT 11,12(N90'EA)</u>
<u>71862</u>	<u>OAK ST</u>	<u>O T ROANOKE BLK 12 LOT 19,20,21(S23' OF N73')</u>
<u>164532</u>	<u>OAK ST</u>	<u>O T ROANOKE BLK 12 LOT 19,20,21(S25' OF N50')</u>
<u>71550</u>	<u>201 BOWIE ST</u>	<u>O T ROANOKE BLK 6 LOT 4-6 (W 80')</u>
<u>71880</u>	<u>OAK ST</u>	<u>O T ROANOKE BLK 12 LOT 19,20,21(S21.5' EACH)</u>
<u>71803</u>	<u>204 RUSK ST</u>	<u>O T ROANOKE BLK 11 LOT 19</u>
<u>76767</u>		<u>BRAND & BOWEN'S BLK 27 LOT 7</u>
<u>68566</u>	<u>US 377 & LAMAR ST</u>	<u>A0603A D. HOOVER, TR 20, .0803 ACRES, OLD DCAD TR 15A,15A(1)</u>
<u>163037</u>	<u>328 US 377 & TRAVIS</u>	<u>O T ROANOKE BLK 20 LOT 11(E PT)</u>
<u>158515</u>		<u>O T ROANOKE BLK 6 LOT 9</u>
<u>71970</u>	<u>200 N OAK ST</u>	<u>O T ROANOKE BLK 14 LOT 4,5(W110')</u>
<u>71537</u>	<u>107 PINE</u>	<u>O T ROANOKE BLK 6 LOT 1-3 (N 65')</u>
<u>71960</u>	<u>209 OAK ST</u>	<u>O T ROANOKE BLK 13 LOT 1,2,3(S50' OF N71' OF EACH)</u>
<u>149174</u>	<u>OAK ST</u>	<u>BRAND & BOWEN'S BLK 29 LOT 2</u>
<u>123800</u>	<u>304 DENTON DR</u>	<u>O T ROANOKE BLK 23 LOT 9</u>
<u>149171</u>		<u>BRAND & BOWEN'S BLK 27 LOT 8</u>
<u>71809</u>	<u>RUSK</u>	<u>O T ROANOKE BLK 11 LOT 20,21</u>
<u>72293</u>	<u>305 N PINE ST</u>	<u>O T ROANOKE BLK 19 LOT 10-12 (S 70')</u>
<u>71372</u>	<u>213 PINE ST</u>	<u>O T ROANOKE BLK 3 LOT 1,2,3</u>
<u>71955</u>		<u>O T ROANOKE BLK 13 LOT 1-3 (N 23.7')</u>
<u>164532</u>	<u>OAK ST</u>	<u>O T ROANOKE BLK 12 LOT 19,20,21(S25' OF N50')</u>
<u>72272</u>	<u>308 N OAK ST</u>	<u>O T ROANOKE BLK 19 LOT 6R</u>
<u>71895</u>	<u>112 N US 377</u>	<u>O T ROANOKE BLK 12 LOT 15R</u>
<u>158532</u>		<u>O T ROANOKE BLK 14 LOT 2</u>

<u>71298</u>	<u>105 N OAK ST</u>	<u>O T ROANOKE BLK 12 LOT 1,2(CTR 91.3') 3(SE 116.4')</u>
<u>71918</u>	<u>204 N US 377</u>	<u>O T ROANOKE BLK 13 LOT 4-9</u>
<u>72250</u>	<u>205 AUSTIN ST</u>	<u>O T ROANOKE BLK 19 LOT 2,3</u>
<u>72009</u>	<u>PINE</u>	<u>O T ROANOKE BLK 15 LOT 9 & 8 (E 1/2)</u>
<u>72614</u>	<u>512 N PINE ST</u>	<u>O T ROANOKE BLK 26 LOT 3 (N 1/2)</u>
<u>523334</u>	-	<u>O T ROANOKE BLK 6 LOT 10R</u>
<u>220148</u>	<u>US 377</u>	<u>O T ROANOKE BLK 5 LOT 5R</u>
<u>71713</u>	<u>301 MAIN ST</u>	<u>O T ROANOKE BLK 10 LOT 5A</u>
<u>526202</u>	<u>PINE ST</u>	<u>NELSON ADDN BLK 7 LOT 9R</u>
<u>191327</u>	<u>US 377</u>	<u>A0603A D. HOOVER, TR 19,20A, .6158 ACRES</u>
<u>68596</u>	<u>301 S OAK ST</u>	<u>GILLILAND ADDN BLK 1 LOT 1</u>
<u>68594</u>	-	<u>A0603A D. HOOVER, TR 17A, .11 ACRES, OLD DCAD TR 9A(1)</u>
<u>526993</u>	<u>401 S WALNUT ST</u>	<u>CHANDLER-CHASE ESTATES BLK 1 LOT 1</u>
<u>68599</u>	<u>307 S OAK ST</u>	<u>A0603A D. HOOVER, TR 22, .28 ACRES, OLD DCAD TR 15C</u>
<u>526994</u>	<u>WALNUT ST</u>	<u>CHANDLER-CHASE ESTATES BLK 1 LOT 2</u>
<u>72404</u>	<u>203 TRAVIS</u>	<u>O T ROANOKE BLK 22 LOT 4,5 (IMPROVEMENT ONLY)</u>
<u>72492</u>	<u>800 OAK</u>	<u>O T ROANOKE BLK 22 LOT 4R</u>
<u>68545</u>	-	<u>A0603A D. HOOVER, TR 35, 22.809 ACRES, OLD DCAD TR 9</u>
<u>232193</u>	<u>420 N US 377</u>	<u>O T ROANOKE BLK 21 LOT 7-R (NON-EXEMPT PORTION)</u>
<u>152056</u>	-	<u>A0923A MEP & PRR, TR 99, .24 ACRES, PER NEW MAP</u>
<u>151181</u>	-	

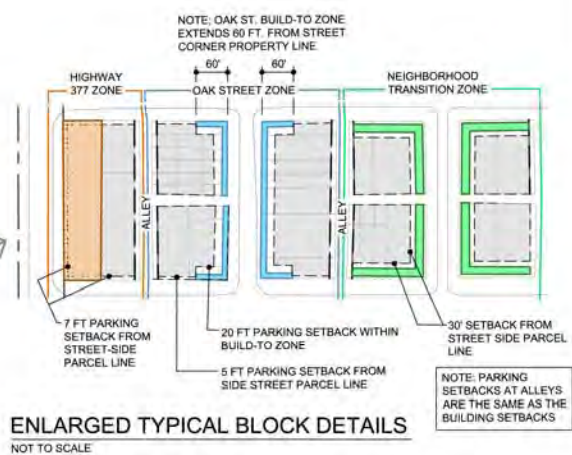
EXHIBIT C

“Oak Street Regulating Plan”

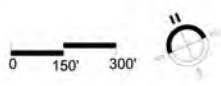
Exhibit "C"

Oak Street Corridor Regulatin Plan

Ordinance 2009-____
February 2009



LEGEND	
	HIGHWAY 377 ZONE
	0-70 FT BUILD-TO ZONE
	OAK STREET ZONE
	0-10 FT BUILD-TO ZONE
	NEIGHBORHOOD TRANSITION ZONE
	5-25 FT BUILD-TO ZONE
	ALLOWABLE PARKING ZONE
	10 FT ALLEY BUILDING SETBACK
	FUTURE RIGHT OF WAY ON HWY 377
2	MAXIMUM NUMBER OF STORIES



Gateway
Planning Group

